



Iredell County Building Standards

349 North Center Street

P.O. Box 788

Statesville, NC 28687

[Online Permitting, Plan Review and Inspection Requests](#)

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Manufactured Home Information and Set-up Guidelines

Manufactured Home. A structure, transportable in one or more sections, which, in the traveling mode, is eight feet or more in width or is 40 feet or more in length, or when erected on site, is 320 or more square feet, and which is built on a permanent chassis and designed to be used as a dwelling with or without a permanent foundation when connected to the required utilities, and includes the plumbing, heating, air conditioning and electrical systems contained therein.

Pre-Installation Considerations. Prior to locating or relocating a manufactured home, it will be necessary to contact [Iredell County Central Permitting](#) regarding permitting procedures. Local jurisdictions will likely require permits to be obtained prior to the beginning any part of the installation. Inspections will be required in conjunction with permits to help assure a correct and safe installation of the manufactured home. Notification of the jurisdiction at various stages of the installation may be required. The local jurisdiction shall be contacted as to the number and type of inspections that will be required. Local zoning or development covenants may apply that should also be taken into consideration.

Transportation Damage. A new manufactured home that is damaged in transit so that it no longer conforms to the Manufactured Home Construction and Safety Standards shall not be accepted by local building officials until proper repairs are made. Manufactured home dealers are prohibited from selling, leasing, or offering for sale or lease any new manufactured home that does not conform to the applicable standards.

Alterations. Alterations of a home consist of activities such as modification of the electrical, plumbing, or HVAC systems, the addition of a room, carport or garage, or major repairs such as a new roof. The authority having jurisdiction must be contacted prior to beginning such work. Applicable permits will be required.

Safety. Installers should, at a minimum, follow the safety instructions provided Appendix G, Safety Guidelines for Manufactured Home Installations.

Consumer and Installation Manuals. Manufacturers of HUD-labeled homes are required by the federal regulations to provide each new home with Consumer and Installation manuals. The Consumer manual provides guidelines concerning the operation, maintenance, and repair of the manufactured home. The Installation manual describes the foundation and anchorage system designed for the home and provides detailed instructions for installation at the site. Authorized inspection personnel as well as installers shall ensure that consumer and installation manuals are available from the homeowner at the time of installation and inspection.

Consumer Information Card. The dealer of a manufactured home shall fill out the Consumer Information Card in accordance with Part 3282, Manufactured Home Procedural and Enforcement Regulations, [Section §3282.255](#), and return it to the manufacturer. This will allow the homeowner to be readily notified if necessary.

Consumer Assistance. This edition of the State of North Carolina Regulations For Manufactured Homes is offered for the purpose of insuring the safe and efficient installation of manufactured homes throughout the State. The North Carolina General Assembly, in N.C.G.S. § 143-143.8, states that “it is reasonable and proper for the manufactured home industry to cooperate with the Commissioner of Insurance, through the establishment of the [North Carolina Manufactured Housing Board](#), to provide for a comprehensive framework for industry regulations”. In its role as staff to the Board, the [Manufactured Building Division](#) has prepared these regulations and has made every effort to clarify potential ambiguities. Personnel of the Division are available on a daily basis to answer any questions that may arise and are available by phone at: 919-647-0000

Manufactured Homes General Information

1. [Permit Application for a Manufactured Home](#)
2. [Mobile Home Set-Up Requirements](#)
3. [Mobile Home - Soil Bearing Report](#)
4. [North Carolina Manufactured Housing Code 2019 edition](#)
5. [Wood Decks - Appendix M – NC Residential Building Code](#)
6. [Codes, Standards and Interpretations](#)
7. [NCDOT Manufactured Housing Division](#)
8. [NCDOT Manufactured Housing Interpretations & Memos](#)
9. [Mobile Homeowners Insurance Policy Information](#)
10. [North Carolina Manufactured Housing Board - Manufactured Home Warranties](#)
11. [Moisture Problems in Manufactured Homes](#)

Permitting

1. [Welcome to the Central Permitting Web Page](#)
2. [Central Permitting Information Packet](#)
3. [Iredell County Citizen Self-Serv User Guide](#)
4. [Environmental Health Forms - Reference Guide](#)
5. [Owner as General Contractor Exemption Affidavit](#)
6. [Owner / Contractor Acknowledgement Form](#)
7. [Workers Compensation Affidavit](#)
8. [Lien Agent Designation](#)

Some Basic Information Regarding Manufactured Dwelling Set-ups

Minimum Footing Depth

Minimum Footing Depth for a manufactured dwelling in Iredell County is 6” (From NCSMHC table 3.5.2). The bottom of all footings shall be not less than 6”, except as allowed in NCSMHC Section 3.5.2.

Piers

Figure 3.7.4.1 - Typical Single Stacked Piers:

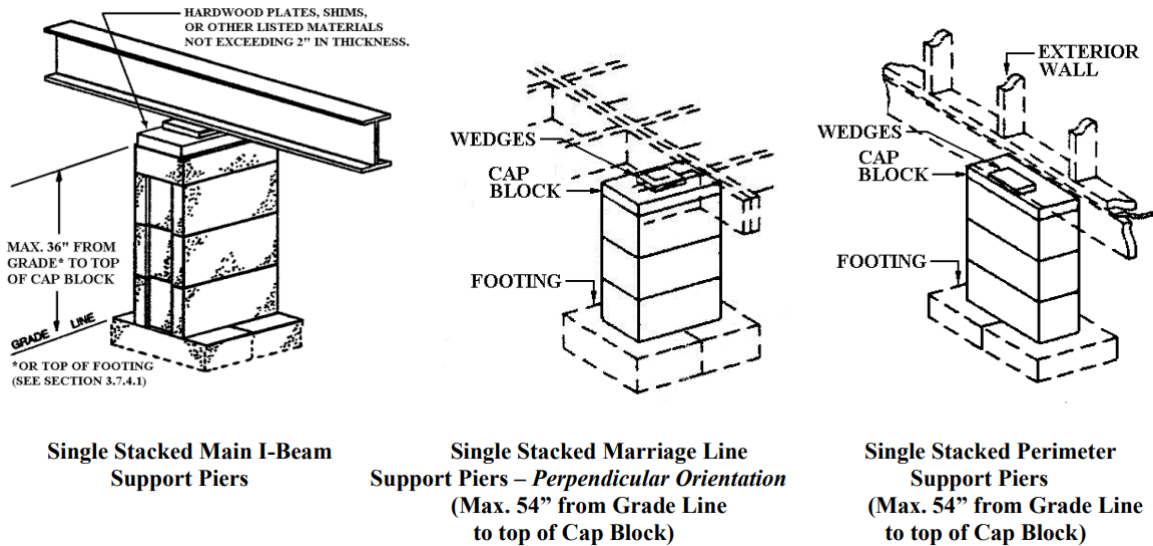
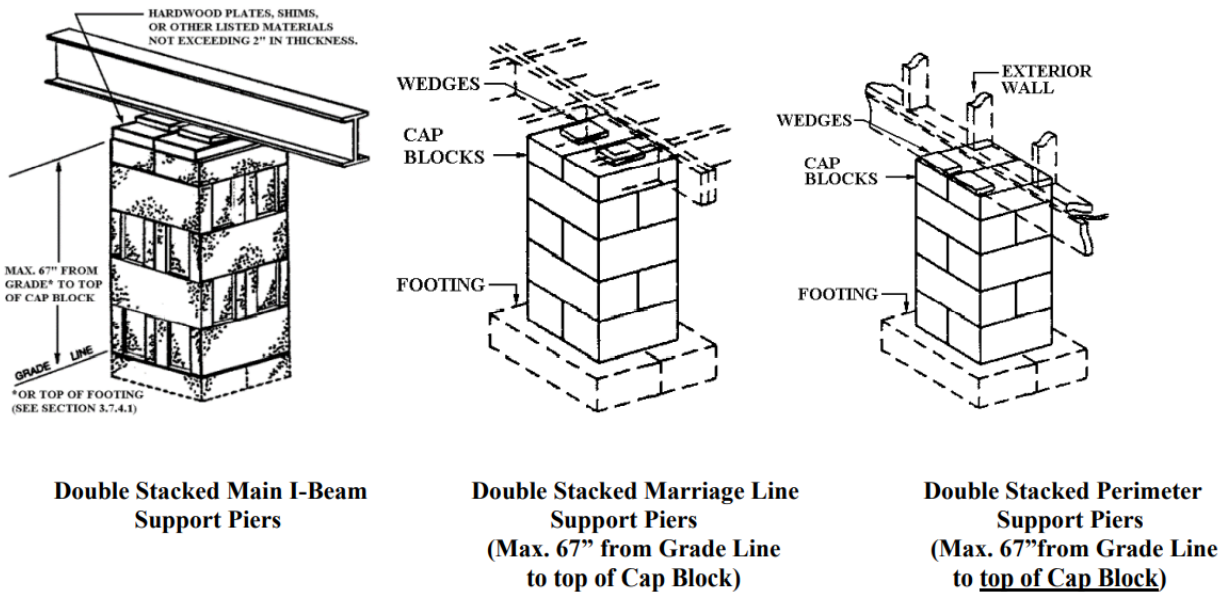


Figure 3.7.5.1 - Typical Double Stacked Piers:



Manufactured Home Anchoring & Installation

(see NCSMHC Figure 3.9.6.1)

Anchoring Equipment. Ties, straps, cables, turnbuckles, chains, and other approved components, including tensioning devices that are used to secure a manufactured home to anchor assembly.

Anchoring System. A combination of anchoring equipment and anchor assemblies that will, when properly designed and installed, resist the uplift, overturning, and lateral forces on the manufactured home and on its support and foundation system.

Anchor Installation Instruction Links

1. [Home Pride Anchor Installation Instructions](#)
2. [Minute Man Anchor Installation Instructions](#)
3. [Oliver Technologies Anchor Installation Instructions](#)
4. [Tie Down Anchor Installation Instructions](#)

Ventilation is Required for Mobile Home Skirting

Means of Providing Ventilation – NCSMHC 3.10.2

Required ventilation shall be provided by ventilated skirting panels, openings in the masonry that are covered with corrosion resistant wire mesh with the least dimension being 1/8", cast iron grills or grating, or equivalent means. One such ventilation opening shall be placed within 3 feet of each corner of the building, and the remaining openings shall be oriented around the perimeter of the home so as to provide cross-ventilation of the space. Louvers type vents are permitted, but shall be located and installed so as to be fully operable.

Required Vapor Barrier - NCSMHC 3.10.3

In order to prevent moisture damage to the home, a 6 mil polyethylene vapor retarder or equivalent shall be installed over the complete area under the home, with joints overlapping at least 12 inches. The vapor retarder may be cut to fit around piers, and may be placed directly beneath, around, or over footings installed on top of the ground (see Section 3.5.2), and around anchors or other obstructions. The vapor barrier shall be placed by the installer.

Required Ventilation Opening Area - NCSMHC 3.10.4

Ventilation shall be provided having not less than one (1) square foot of net free opening for each fifteen hundred (1500) square feet of crawl space. See Table 3.10.4 (page 59) for determination of required area when a vapor retarder is installed. The vapor retarder shall be placed by the installer.

Egress Requirements - NCSMHC 3.11

Egress -- General Requirements - NCSMHC 3.11.1

Federal regulations require that each manufactured home have a minimum of two exterior egress doors that are located remotely from each other. Where any means of egress from a manufactured home, including sliding glass doors, is not substantially level with grade, such differences in elevation shall be negotiated by stairs or ramps. Landings shall comply with Section 3.11.4. Egress stairs, ramps, and landings shall be provided and installed by the selling party unless specifically contracted otherwise by the homeowner. Material for stairs, ramps, and landings constructed of wood shall be pressure-treated in accordance with AWWPA U1-07, Use Category System: User Specification for Treated Wood.

Exterior Steps and Stairways - NCSMHC 3.11.2

All stairs and landings constructed in accordance with this Code shall be entirely self-supporting unless designed and approved by a registered North Carolina Engineer or Architect. Adequate bracing of stairway and landing structures shall be provided as required for lateral stability - NCSMHC 3.11.2.1

Utilize [NCSRBC Appendix M](#) as the primary guide for design, specification & construction of decks, porches, landings, stairs, handrails and guards necessary for occupancy of manufactured dwellings.

Permit Fees for Manufactured Homes

Single Wide – Manufactured Home – (includes Plumbing, Mechanical & Electrical)	\$375.00
Double Wide – Manufactured Home – (includes Plumbing, Mechanical & Electrical)	\$475.00
Triple Wide – Manufactured Home – (includes Plumbing, Mechanical & Electrical)	\$600.00