



IREDELL COUNTY HEALTH DEPARTMENT

Jane Hinson, RN BSN MS, HEALTH DIRECTOR

NEW OR REPLACEMENT HOMES WITH EXISTING SEPTIC SYSTEMS

How to Apply For Environmental Health Approval



1. Obtain a copy of your current septic permit.

Most permits can be found online on the Iredell County GIS Map.

<https://iredellcountync.mapgeo.io/datasets/properties?abuttersDistance=100&latlng=35.785949%2C-80.887561>

Search the address. Click on the property on the map. Property Information can then be viewed on the left. Scroll down to septic records and click on the link for latest date operation permit.

It is important to review the septic permit for the number of bedrooms the system was sized for and its location. Be sure the location of the proposed home does not encroach on any part of the septic system. **The Environmental Health existing system approval is needed in order to verify that the proposed home meets all the required well and septic setbacks and must be obtained prior to obtaining a building permit.**

If the proposed home is too close to any part of the septic system, then apply for a “relocation” (Septic Relocation Improvement Permit). If the number of bedrooms for the new home is **more** than the number of bedrooms the septic system was permitted for, then apply for an “expansion” (Septic Expansion Improvement Permit). Soil evaluations and backhoe pits are required for relocation and expansion applications.

If no record can be found and the location & size of the system is unknown, then apply for an **Existing Septic System** Inspection for the new home. The specialist will advise if a more extensive evaluation is required after the site inspection.

2. Prepare the site per the Environmental Health Requirements below:

Lot must be cleared of heavy undergrowth. In order to evaluate the lot, the footprint of the proposed structure must be visible. The house box area and the septic drain field and repair area must be sufficiently cleared of heavy undergrowth (i.e. tall grass, briars, thick underbrush).

Property lines must be survey staked or existing irons/concrete markers located. Flag all property lines every 25 feet if adjacent corners are not visible when standing on any given corner. Property corners must be marked by a licensed NC surveyor & easily identified **prior to application submittal**. ‘Mow lines’ and/or fence lines are not considered verifiable boundaries.

Stake or flag the footprint of all proposed structure(s), addition, pool etc. to match the site plan submitted.

3. **Obtain zoning permit.** If the property is located within the Town of Mooresville jurisdiction, then a zoning permit from them is required first. Apply to the Town of Mooresville directly for this.

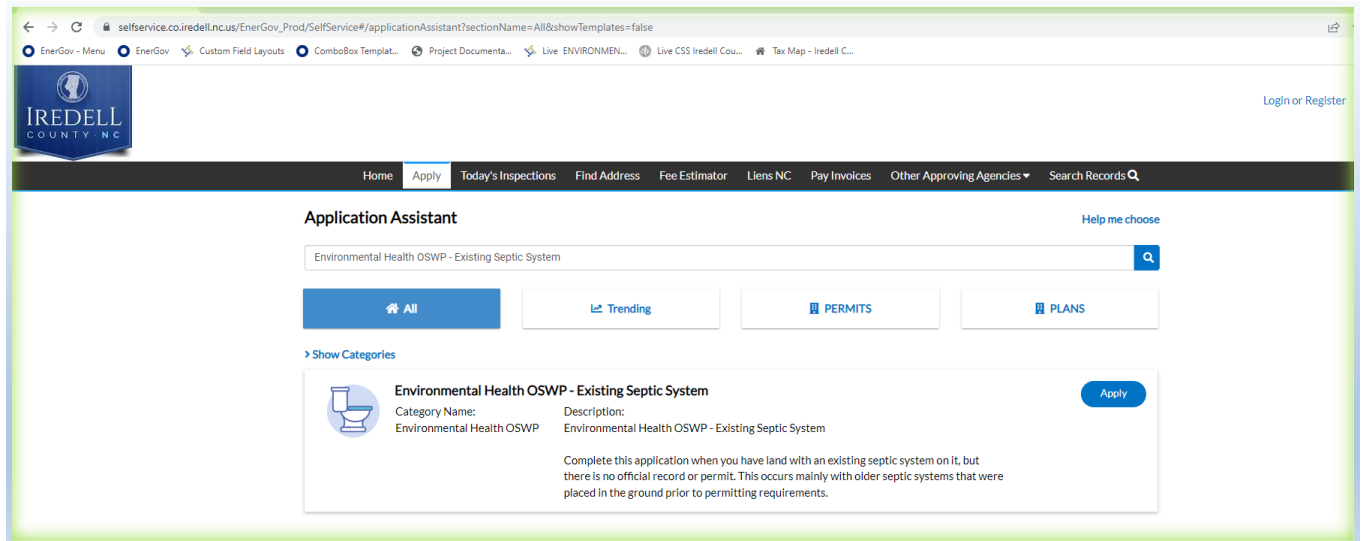
4. GO TO THE ONLINE CITIZENS SELF SERVICE PORTAL to Login or Register for an account.

To create an account and apply for services, please go to the web address below or scan the QR code from your mobile device. https://selfservice.co.iredell.nc.us/EnerGov_Prod/SelfService#/home



5. **Search and apply for an [Environmental Health OSWP – Existing Septic System](#)** (OR Septic Relocation Improvement Permit OR Septic Expansion Improvement Permit if needed). There are several required documents that must be uploaded to your online application:

- [Site plan](#) showing the house box size and location and distances from all property lines. Include any additional items such as pools, sheds, etc. on the site plan along with their dimensions. Be sure all structures are staked out on the property.
- Completed [Documentation to Authorize an Owner’s Legal Representative form](#) signed by the property owner.
- [Floor plan](#) for each level of the home with the overall house box dimensions noted and the rooms labeled



6. **Pay fees** – after the application has been reviewed, a notification to pay the zoning permit and septic evaluation fees will be sent to your portal.

7. **A preliminary site visit** to verify that the site is ready to be evaluated will be performed first. Lots that are not ready at the time of this site visit, will be assessed a \$100 site re-visit fee.

8. **Wait for inspection/evaluation.** After the preliminary lot readiness site visit has been satisfied, the septic application will then be sent to an Environmental Health Specialist for processing. Processing time varies throughout the year (time frames are estimations only). The EH Specialist will visit the site and review the request. You will be contacted if there are any questions/concerns about the application and notified when the permit (approval) has been issued.

9. **For additional information** go to the Citizens Self Service website.

Status updates of your project can be viewed on your Citizens Self Service Dashboard.

Once work by Environmental Health staff begins, the up-front fees paid toward securing any health department permit are nonrefundable. Refunds for work not started, due to a customer changing their mind or plans, are subject to an administrative fee of \$50 to defray a portion of the costs of processing the refund.